



Harvey County Parks

314 N. East Lake Road

Newton, Ks. 67114

(316)283-5420

INVITATION TO BIDDERS

1. Harvey County, Kansas will accept bid proposals for the construction and installation of Footings/Foundation for the West Park Shower House Project, for the Harvey County Parks department. See attached specification/requirements. A copy of any applicable warranty or guarantee must accompany the bid along with an estimated completion date.
2. Bid proposals must be sealed and clearly labeled **"West Park Shower House Footings/Foundation"**, with name and address of vendor on the envelope. Bids will be mailed to: **Harvey County Administration Office, PO Box 687, 800 N. Main Street, Newton, KS, 67114.** They will be received by the Harvey County Administration office until **5:00 PM on Friday, February 16, 2024**, and opened in public by the Board of Harvey County Commissioners on **Tuesday, February 20, 2024**, at around **9:30 AM** at the Commission meeting at the Harvey County Courthouse, 800 N. Main St., Newton, Kansas.
3. If a site visit is desired by potential bidders, it will be conducted on Tuesday, February 6, 2024, between the hours of 10am and 12pm at Harvey County West Park, 2731 West Park Rd., Burrton, KS. 67020. The site visit is not mandatory and is at the discretion of the bidder.
4. If additional information or questions arise, call **Kass Miller, Parks Director, at (316)283-5420.** Mailing address is 800 N. Main St., PO Box 687, Newton, KS, 67114.

BID CONDITIONS

1. Harvey County, Kansas reserved the right to select the bid proposal which best meets its required needs and quality requirements.
2. Harvey County reserves the right to reject any or all bids, to accept or reject any item or items in the bids, and to waive any irregularities in the bids.
3. Faxed and e-mailed bids will not be accepted.
4. Bids may be corrected or withdrawn prior to the stated deadline. Requests for all such transactions must be submitted to Kass Miller, Parks Director, prior to the deadline. Correction or withdrawal of inadvertently erroneous bids after the deadline but before the award, or cancellation of awards or contracts based on mistakes, shall be permitted only upon authorization of the County Administrator.
5. The bid and/or contract will be awarded to a qualified vendor (bidder/contractor) submitting the lowest responsible bid or best proposal as determined by the Board of County Commissioners after review of all vendor

proposals and recommendations by the user department(s). Harvey County interprets the term lowest responsible bid/proposal as requiring Harvey County to (A) choose between the kinds of materials, goods, wares, or services subject to the bid, and (B) determine which bid is most suitable for its intended use or purpose. Harvey County can consider among other factors, however not limited to, such things as labor cost, service and parts availability, and maintenance cost of items upon which bids are received. All requested information must be provided. If you cannot respond to the request, state the reason you cannot respond. You may provide supplemental information, if necessary, to assist Harvey County in analyzing your bid.

6. All items furnished must be the best of their respective kinds and be free from defects in material and workmanship. Items furnished must be manufactured in compliance with all existing legal or governmental directives.
7. Insurance Coverage – The Vendor, if awarded a contract, during the performance of the services under the contract shall maintain insurance coverage reflecting the minimum amounts and conditions specified herein, and shall provide originals or certified copies of all policies, which shall be written by an insurance company authorized to do business in Kansas. Misrepresentation of any material fact, whether intentional or not, regarding the Firm's insurance coverage, policies, or capabilities may be grounds for rejection of the proposal and rescission of any awarded contract.

All insurance must be written by an insurance company authorized to do business in the State of Kansas. Misrepresentations of any material fact, whether intentional or not, regarding the Firm's insurance coverage, policies, or capabilities may be grounds for rejection of the proposal and rescission of any awarded contract.

- a) Commercial General Liability insurance, or its equivalent, with limits not less than \$1 million per occurrence. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location or be twice the required occurrence limit. Such insurance shall be endorsed to state that it is primary and shall not contribute with any insurance or self-insurance maintained by Harvey County. Such insurance shall also be endorsed to designate Harvey County, its elected and appointed officials, employees, and volunteers as additional insureds.
- b) Business automobile liability insurance with limits not less than \$1 million per occurrence. Such insurance shall include coverage for owned, non-owned, and hired automobiles.
- c) Workers' compensation insurance as required by Kansas law and Employer's Liability insurance with limits not less than \$1 million per accident for bodily injury or disease. The workers' compensation insurance shall contain an endorsement stating the insurer waives any right of subrogation against Harvey County, its elected and appointed officials, employees and volunteers.

Special Provisions Applicable to All Coverages

1. The Vendor shall immediately notify Harvey County of cancellation or non-renewal.
2. Self-insured retentions must be declared and approved by Harvey County.

Evidence of Insurance

Prior to commencement of work, the Vendor shall furnish Harvey County with certificates and specified endorsements evidencing compliance with these insurance requirements. The Vendor agrees to provide complete, certified copies of all required insurance policies if requested by Harvey County.

Acceptability of Insurers

Any insurance placed with commercial insurers shall be placed with insurers that maintain an A.M. Best rating of A-, VII or better, or that otherwise meet the written approval of Harvey County.

Subcontractors

The Vendor shall ensure that subcontractors maintain insurance that complies with the requirements stated herein. In the event that subcontractors used by the Vendor do not have insurance, or do not meet the insurance limits, Vendor shall indemnify and hold harmless the County for any claims in excess of the subcontractor's insurance coverage, arising out of negligent acts, errors or omissions of the subcontractor.

8. Indemnification - Vendor shall, in addition to any obligation to indemnify Harvey County and to the fullest extent permitted by law, protect, defend, indemnify and hold harmless Harvey County, its agents, elected officials and employees from and against all claims, actions, liabilities, losses (including economic losses) and costs arising out of any actual or alleged (a) bodily injury, sickness, disease or death, or injury to or destruction of tangible property, including the loss of use resulting there from, or any other damage or loss arising out of or resulting in whole or in part from any actual or alleged act or omission of the Vendor, any subcontractor, anyone directly or indirectly employed by any of them, or anyone for whose acts any of them may be liable in the performance of the work; (b) violation of law, statute, ordinance, governmental administrative order, rule regulation, or infringement of patent rights by Vendor in the performance of the work; or (c) liens, claims or actions made by the Vendor or any subcontractor under workers compensation acts' disability benefit acts, other employee benefit acts or any statutory bar.

The indemnification obligations hereunder shall not be limited by any limitation on the amount, type of damages, compensation or benefits payable by or for the Vendor or any subcontractor under worker's compensation acts' disability benefit acts, other employee benefit acts and any statutory bar. All expenses, including attorney's fees, incurred by Harvey County in enforcing this provision shall be borne by the Vendor.

9. Bond Information - A Performance Bond equal to the proposal figure is required. The successful proposer shall well and truly perform all the covenants, conditions, and obligations of the "contract" documents on the part of the contract to be performed.
10. Pursuant to K.S.A. 44-1030, and any amendments thereto, unless (i) the bidder to whom any contract shall be awarded employs fewer than four employees or (ii) has contracts with the County that cumulatively less than \$5,000 during the County's fiscal year, any contract for construction, alteration or repair of any public building or public work or the acquisition of materials, equipment, supplies or service shall contain provision by which the contractor agrees that:
- a) The contractor shall observe the provision of the Kansas Act against discrimination and shall not discriminate against any person in the performance of work under the present contract because of race, religion, color, sex, disability, national origin or ancestry;
 - b) In all solicitations or advertisements for employees, the contractor shall include the phrases "equal opportunity employer," or similar phrase to be approved by the commission;
 - c) If the contractor fails to comply with the manner in which the contractor reports to the commission in accordance with the provisions of K.S.A. 44-1031 and amendments there to, the contractor shall be deemed to have breached the present contract and it may be canceled, terminated or suspended, in whole or in part, by the County; If the contractor is found guilty of a violation of the Kansas act against discrimination under a decision or order of the commission which has become final, the contractor shall

be deemed to have breached the present contract and it may be canceled, terminated or suspended, in whole or in part, by the County; and

- d) The contractor shall include the provisions of subsection a through c in every subcontractor purchase order so that such provisions will be binding upon such subcontractor or vendor.

11. The Contractor, its agents and employees are to be considered by Harvey County as independent contractors. No employer or employee relationship between Harvey County and the Contractor is to be created by this agreement.
12. The Contractor and its employees shall at all times maintain a courteous and polite manner with members of the public. At no time shall a Contractor or the Contractor's employees discredit Harvey County with their demeanor or action.
13. The Contractor shall use reasonable care to avoid damaging existing buildings, equipment, or vegetation (such as trees and shrubs) on Harvey County public use areas. If the contractor fails to do so and damages any such buildings, equipment, and vegetation, the Contractor shall replace or repair the damage at no expense to Harvey County. If the said Contractor fails or refuses to make such a repair or replacement, the Contractor shall be liable for the cost thereof, which may be deducted from the contract price.
14. Payment Terms - Payment will be made on a monthly basis following receipt of a detailed invoice provided to Harvey County Parks by the Vendor. Under no circumstances will payments be made in advance of work performed. No payment for extra services shall be made unless services and their costs have been previously authorized in writing and approved by the County. Payments will be made within 30 days of receipt of invoice.

BID PROPOSAL REQUEST

Harvey County – Parks Department

Harvey County is seeking bid proposals to construct and install Footings/foundation at Harvey County West Park for the new Pre-Stressed Concrete Shower House Project. The address to Harvey County West Park is 2731 West Park Rd., Burrton, KS. 67020.

Deviations

Any deviations from the scope of work indicated herein must be submitted in writing, clearly noted and explained in detail on a separate form, and attached to the submitted proposal; otherwise, it will be considered that items/services offered are in strict compliance with these specifications and the successful bidder shall be held responsible thereto.

Any deviation within the submitted proposal between prices quoted and restated in the summation sheet shall be resolved by the County as being the lower price, unless the bidder requested in writing a correction or withdrawal of the Proposal prior to the date and time set for opening.

Award of Contract

Award of contract will be made to the most responsive/responsible bidder meeting the requirement of the County within 30 days of the bid proposal opening date. This solicitation does not commit the County to award a contract, to pay any costs incurred in the preparation of the proposal, or to procure or contract for goods services listed herein. The

County may accept any bid proposal offered on an all, partial, or none basis, or within funds available, whichever is in the best interest of the County.

Clean Up Site

All areas of the grounds shall remain clean and free of any construction debris. An allotted area will be allowed for material storage.

**SUCCESSFUL BIDDER WILL MEET OR EXCEED ALL SPECIFICATIONS LISTING IN THE ATTACHED,
SEALED ENGINEER SITE PLAN AND GRADING FOR WEST PARK SHOWER HOUSE.
PROJECT NO. 2301010514.**

1. Y____N____ All General Notes will be followed.

2. Y____N____ All General Grading Notes will be followed.

3. Y____N____ All Erosion Control/Seeding Notes will be followed.

4. Y____N____ All Control Points will be observed.

5. Y____N____ All Structural General Notes will be adhered to.

6. Y____N____ After the footings/foundation is formed up and before the concrete is poured, the Parks Department will be notified and provided time to stub through the sewer line and water supply line.

***Concrete work for the sidewalk ramp, and handrail installation is not part of this bid request. This work will be performed by the Harvey County Parks Department.**

BID FORM

Harvey County – Parks Department West Park Shower House Footings/Foundation

To the Board of Harvey County Commissioners,

The undersigned hereby certifies that bidder has read the Request for Bids and the attached plans/specifications and understand all provisions. The undersigned proposes and agrees to provide the required materials, services, warranties, delivery and installation of items, in compliance with this bid form and these bid conditions, and certifies that the Footings/Foundation material and construction will meet or exceed the attached plans/specifications/Sealed Engineered Site Plan and Grading for the West Park Shower House. *Any variances from the specifications are clearly noted and explained in detail on a separate form, and attached to the submitted Bid Proposal.*

TOTAL: \$ _____ (sales tax exempt)

Describe included Warranty or attach copy of Warranty Sheet:

Completion time, in days, after award of bid: _____

Signed this _____ day of _____, 2024.

Firm Name: _____

Mailing Address: _____

City, State, Zip Code: _____

Authorized Signature: _____

Print Name: _____

Telephone: _____ Email: _____

Harvey County reserves the right to reject any or all bids and to waive any irregularities therein.

All pages of this Invitation to Bidders must be included in the response.

PLOTTED: Monday, January 22, 2024 @ 11:24AM
 \\PROJECTS\2023\23010514\HARVEY_COUNTY_WEST_PARK_SHOWER_HOUSE\00\XXXXXX\CAD\SITE\50\PLAN AND GRADING.DWG

GENERAL NOTES

- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:
KANSAS ONE-CALL 1-800-344-7233
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- ALL COMPACTION OF EARTHWORK SHALL BE 95% STANDARD DENSITY IN ACCORDANCE WITH ASTM D-698.
- EXCESS EXCAVATION SHALL BE STOCKPILED ON-SITE IN A LOCATION APPROVED BY THE OWNER.

GENERAL GRADING NOTES

- THIS IS DESIGN GRADING. ALL GRADES SHALL BE CONTOURED SMOOTHLY WITH GENTLE ROUNDING/SHAPING OF ALL AFFECTED LAND SURFACES. ABRUPT TRANSITIONS AT THE TOP OF SLOPES WHERE PROPOSED GRADES MEET EXISTING ARE NOT ACCEPTABLE. SURVEY STAKES FOR POND GRADES ARE FOR GENERAL GRADING PURPOSES ONLY. NOT ALL SLOPES ARE CONSTANT AND THEREFORE THE GRADING PLANS SHALL BE REFERRED TO FOR FINAL GRADE SHAPING.
- A 6" LAYER OF TOPSOIL SHALL BE STRIPPED IN ALL AREAS OF CUT AND SAVED BACK FOR REPLACEMENT IN APPROVED STOCK PILE LOCATION. ANY EXCESS TOPSOIL SHALL BE SEPARATELY STOCKPILED ON-SITE AT AN APPROVED LOCATION BY OWNER.
- THE FINISHED GRADE SHOWN ON THE PLANS INDICATES THE SURFACE ELEVATION AFTER THE TOPSOIL LAYER HAS BEEN PLACED.

EROSION CONTROL/SEEDING NOTES

- EROSION CONTROL IS TO MEET ALL FEDERAL, STATE, COUNTY, AND LOCAL CODE STANDARDS.
- ALL AREAS SHALL BE FINE GRADED AND SURFACES SHALL BE FREE FROM STICKS, SMALL STONES, AND OTHER EXTRANEOUS MATERIALS.
- CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION, AS NEEDED.
- SEEDING AREAS SHALL BE PREPARED FOR PLANTING WITH COMMON AGRICULTURAL TECHNIQUES. APPROVED WITH OWNER'S REPRESENTATIVE BEFORE PLANTING.
- ALL SEED SHALL BE DISTRIBUTED WITH AN ACCEPTABLE DRILL INTENDED FOR SUCH OPERATIONS. OR OTHER EQUIPMENT APPROVED BY THE OWNER'S REPRESENTATIVE. SEEDING DEPTH SHALL BE 1/4 OF AN INCH.
- ALL SEEDED AREAS SHALL BE IMMEDIATELY MULCHED WITH PRAIRIE HAY A 2 TONS/ACRE. ANCHOR MULCH BY CRIMPING INTO TOPSOIL WITH SUITABLE MECHANICAL EQUIPMENT.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND IMPLEMENTING ALL EROSION CONTROL, AS NEEDED.

CONTROL POINTS

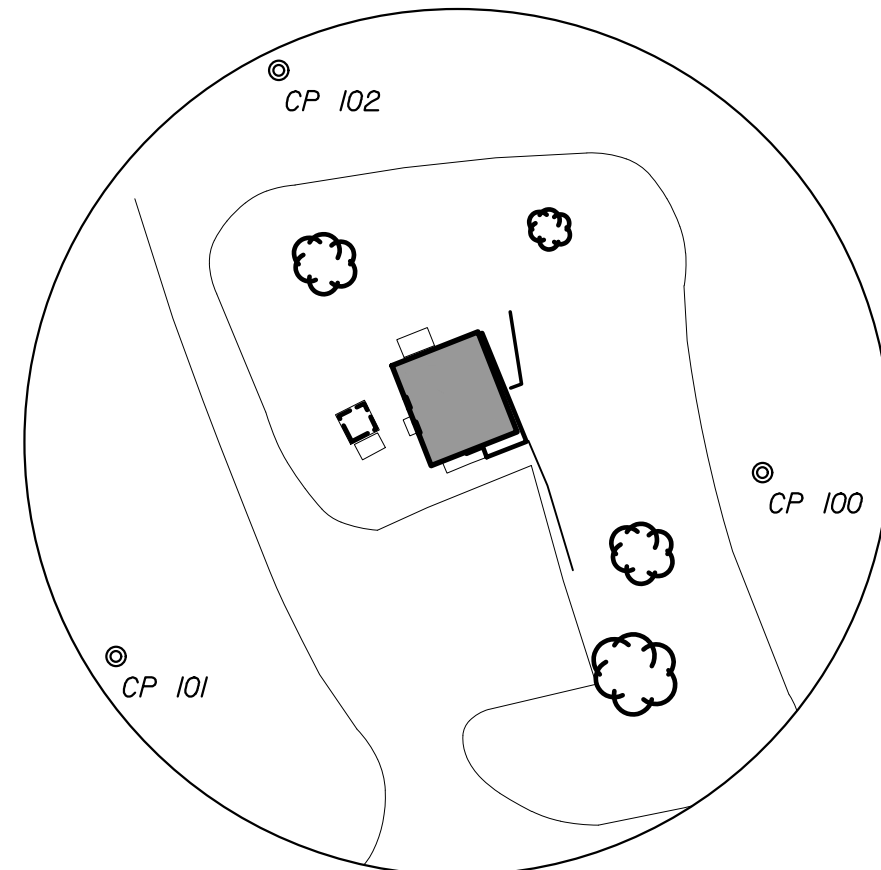
DATUM:
 1) THE PROJECT HORIZONTAL DATUM IS BASED ON THE NAD83, KANSAS STATE PLANE COORDINATE SYSTEM, SOUTHZONE, (US SURVEY FEET DEFINITION), WITH A COMBINED ADJUSTMENT FACTOR(CAF) OF 1.0001200144.

THE FOLLOWING EQUATIONS CAN BE USED FOR CONVERSION:
 GROUND COORDINATES TO STATE PLANE COORDINATES = GROUND X 1/CAF
 STATE PLANE COORDINATES TO GROUND COORDINATES = STATE PLANE X CAF

2) THE VERTICAL DATUM USED IS NAVD88.

CONTROL: HORIZONTAL				
PT. NO.	NORTH	EAST	ELEV.	DESCRIPTION
101	1827758.316	1576419.353	1408.15	+CUT
102	1827933.909	1576468.138	1408.71	+CUT

BENCHMARK: HORIZONTAL				
PT. NO.	NORTH	EAST	ELEV.	DESCRIPTION
100	1827813.416	1576613.075	1410.61	+CUT AT THE NORTHWEST CORNER OF THE SOUTH CLEAN OUT EAST OF SHOWER BUILDING.



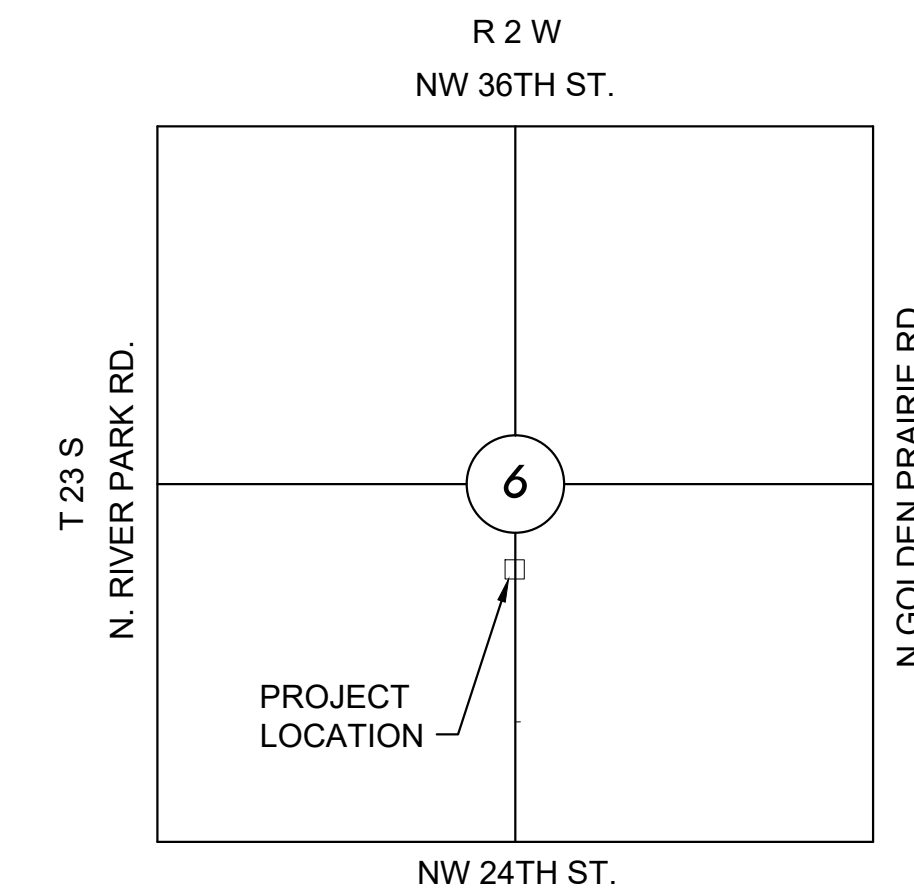
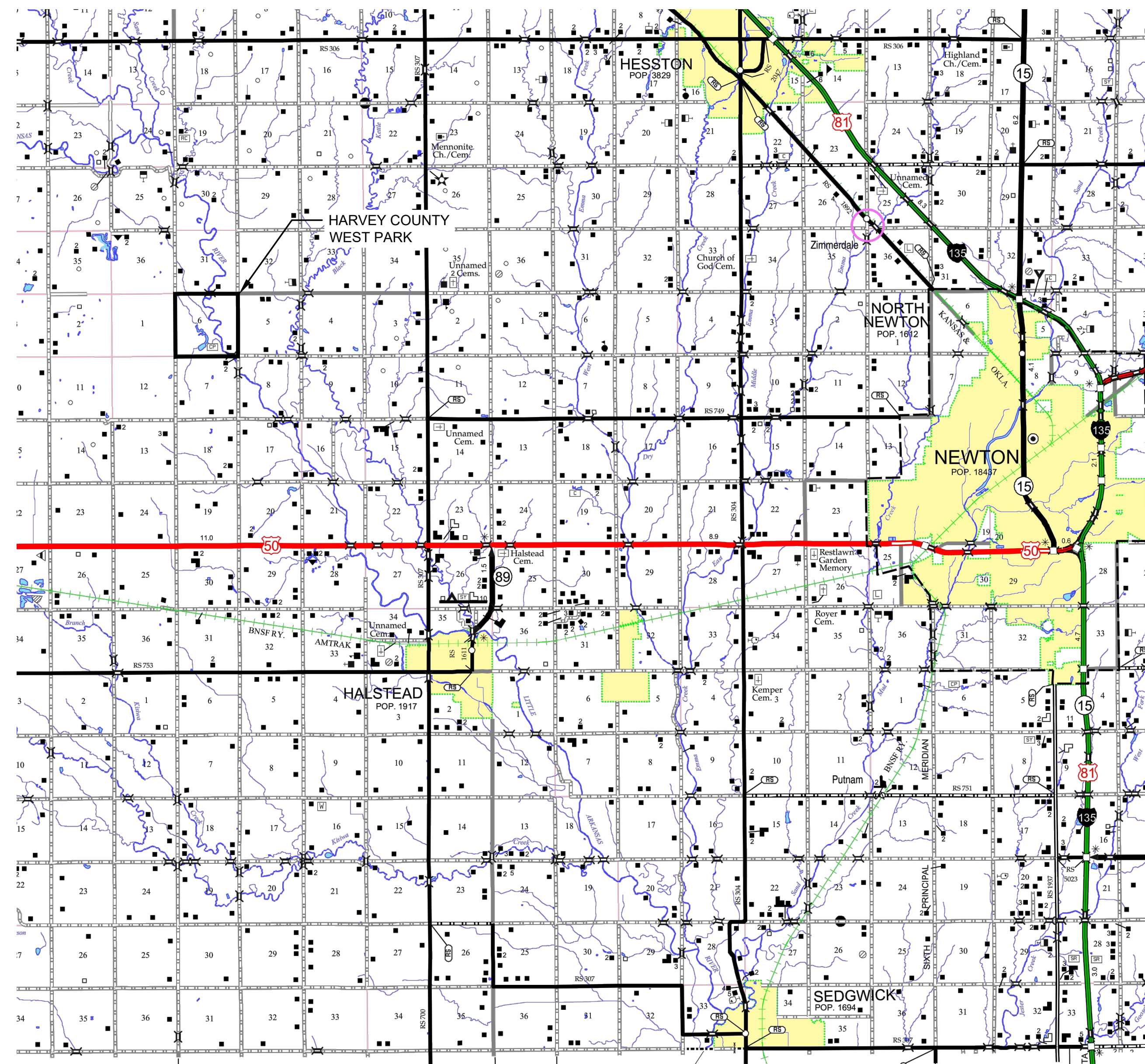
CONTROL POINT MAP

No Scale

SITE PLAN AND GRADING FOR

WEST PARK SHOWER HOUSE

HARVEY COUNTY, KANSAS
 PROJECT NO. 2301010514



VICINITY MAP

No Scale



SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	GRADING PLAN



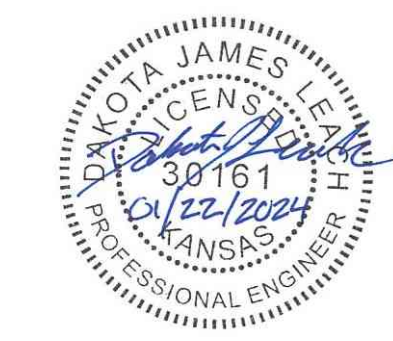
SITE PLAN AND GRADING FOR
WEST PARK BATHHOUSE
 HARVEY COUNTY, KANSAS

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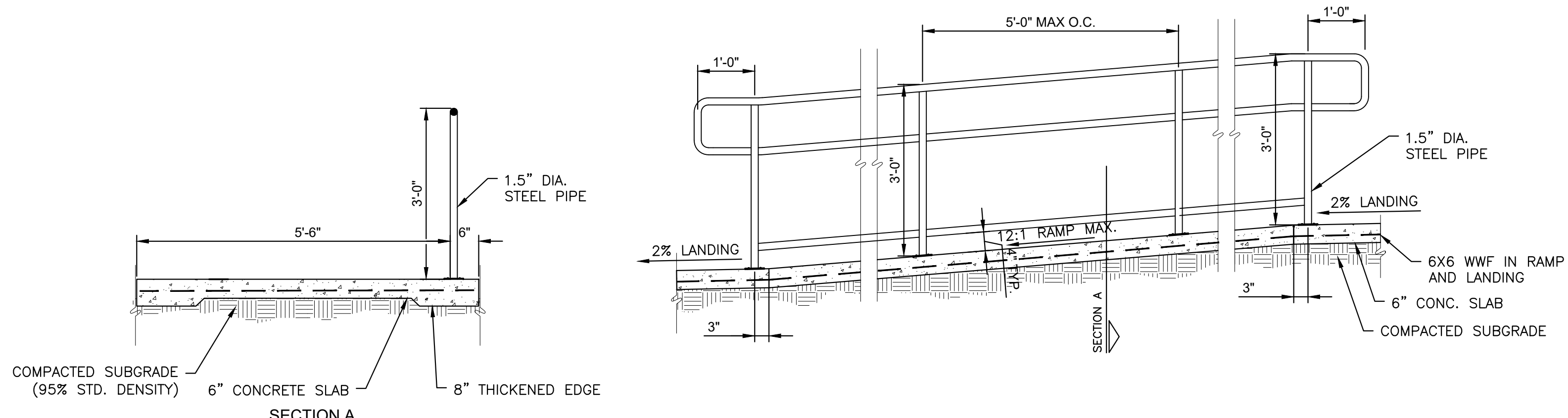
TITLE SHEET

PROJECT NO.	2301010514	
DATE	JAN. 2024	
SCALE	1" = 10'	
DESIGNED	DJL	
DRAWN	DJL	
CHECKED	JRA	
NO.	REVISION	DATE
1	BUILDING LOCATION	01-22-24
0	ISSUED FOR CONSTRUCTION	12-21-23

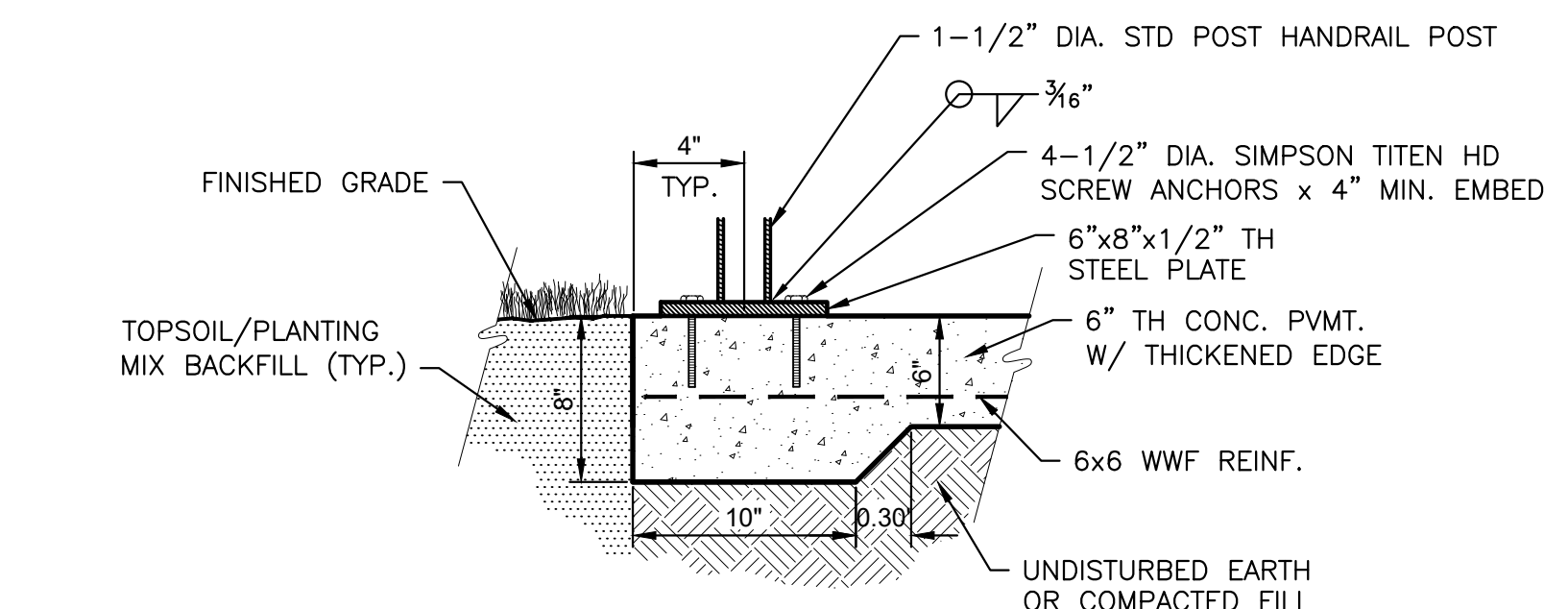
SHEET NO.
 1 OF 3



SITE PLAN AND GRADING FOR
WEST PARK BATHHOUSE
 HARVEY COUNTY, KANSAS

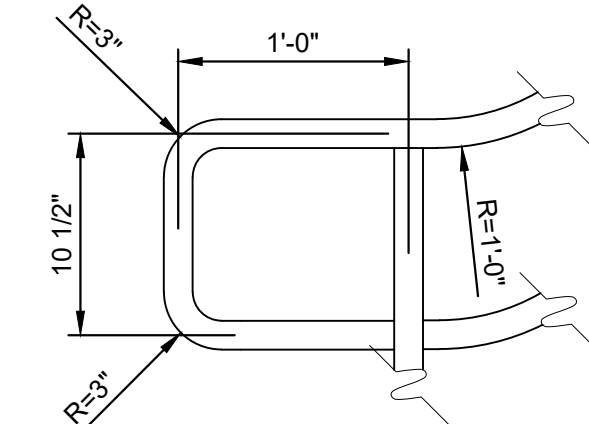


1 SIDEWALK RAMP / HANDRAIL DETAIL
SCALE: NTS

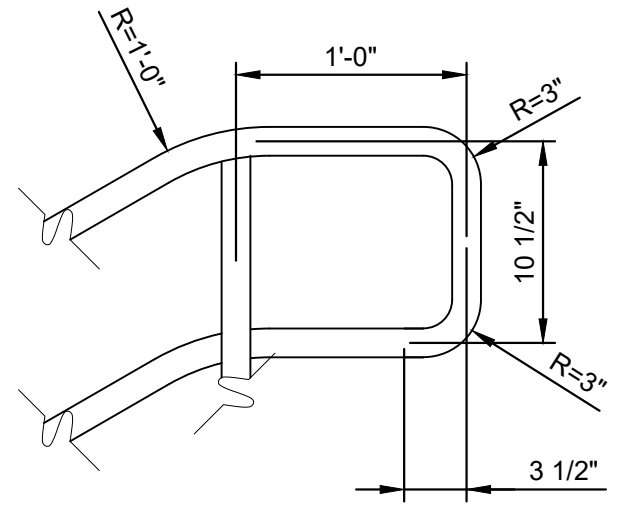


- NOTE:**
- MATERIALS
 - A. CONC. F'C = 3000 PSI
AIR ENTRAINED TO 6%
 - B. W.W.F.: A185
 - C. STEEL PLATE: A36
 - D. STEEL PIPE: A53 GR. B
 2. WELDING TO CONFORM TO AWS

4 SIDEWALK RAMP - HANDRAIL CONNECTION DETAIL
SCALE: NTS



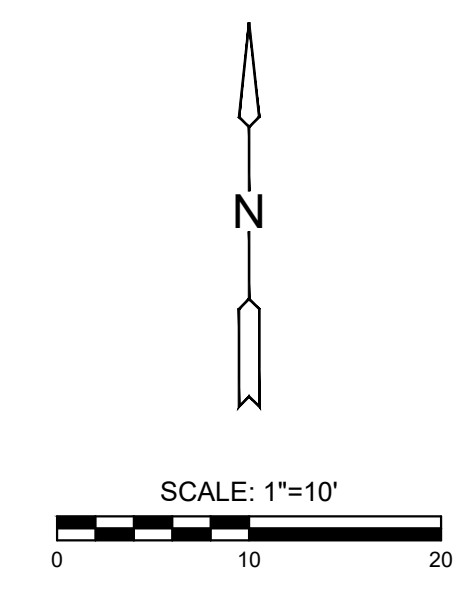
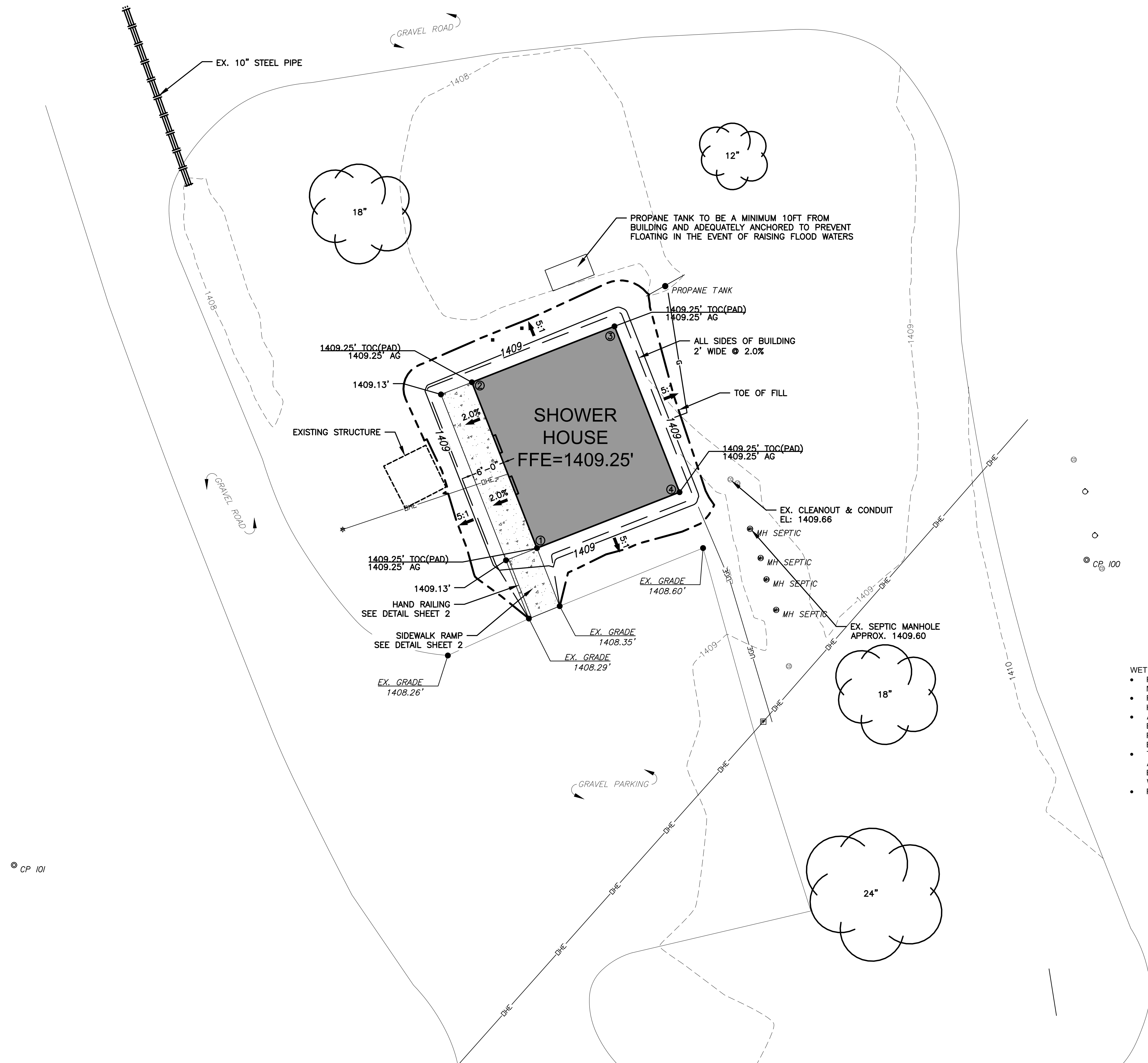
2 HANDRAIL TERMINUS - BOTTOM
SCALE: NTS



3 HANDRAIL TERMINUS - TOP
SCALE: NTS

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DETAILS		
PROJECT NO.	2301010514	
DATE	JAN. 2024	
SCALE	NTS	
DESIGNED	DRAWN	CHECKED
DJL	DJL	JRA
NO.	REVISION	DATE
1	BUILDING LOCATION	01-22-24
0	ISSUED FOR CONSTRUCTION	12-21-23
SHEET NO.		
2 OF 3		



LEGEND

- 1250 --- EXISTING CONTOUR
- 1250 — PROPOSED CONTOUR
- |—|— EXISTING STORMWATER SEWER
- O—O— EXISTING OVERHEAD ELECTRIC
- U—U— EXISTING UNDERGROUND ELECTRIC
- |—|— 4 — PROPOSED SIDEWALK
- --- GRADE BREAK FROM 2% TO 5:1

BUILDING CORNER SUMMARY		
NO.	NORTHING	EASTING
1	1827814.54	1576513.79
2	1827845.49	1576502.04
3	1827855.59	1576527.80
4	1827825.65	1576539.55

EARTHWORK SUMMARY	
*COMPACTED FILL ~ 34CY	
*NO SHRINKAGE FACTOR ADDED	

- WET FLOOD PROOFING NOTE:**
- FREEDOM FLOOD VENTS (FFV-1608-B) ARE TO BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS.
 - FOUR TOTAL FLOOD VENTS ARE REQUIRED FOR THE SHOWER HOUSE.
 - AT LEAST TWO FLOOD VENTS ON DIFFERENT SIDES OF THE ENCLOSED AREA, AND IF MORE THAN ONE ENCLOSED AREA IS PRESENT, EACH ENCLOSED AREA MUST HAVE A FLOOD VENT ON EXTERIOR WALLS.
 - THE BOTTOM OF EACH VENT MUST NOT BE MORE THAN 1 FOOT ABOVE EITHER THE FINAL INTERIOR GRADE AND THE FINISHED EXTERIOR GRADE IMMEDIATELY UNDER EACH VENT OR WHICHEVER IS HIGHER.
 - FLOOD VENTS ARE PERMITTED TO BE INSTALLED IN DOORS

SITE PLAN AND GRADING FOR
WEST PARK BATHHOUSE
 HARVEY COUNTY, KANSAS

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GRADING PLAN

PROJECT NO.	2301010514	
DATE	JAN. 2024	
SCALE	1" = 10'	
DESIGNED	DJL	
DRAWN	DJL	
CHECKED	JRA	
NO.	REVISION	DATE
1	BUILDING LOCATION	01-22-24
0	ISSUED FOR CONSTRUCTION	12-21-23

SHEET NO.
3 OF 3

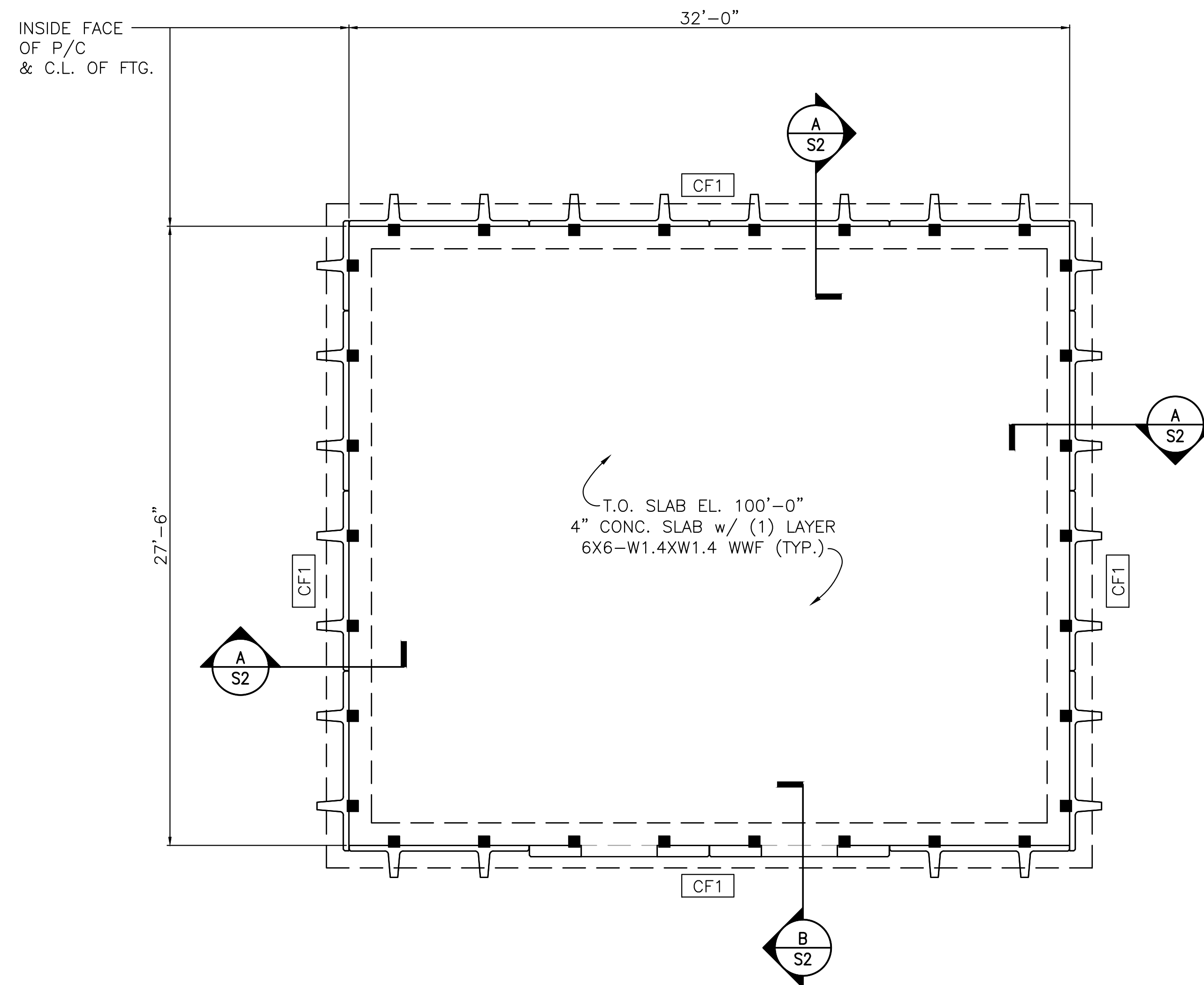
PROJECT NO.	2301010514
DATE	DEC 2023
SCALE	AS NOTED
DESIGNED	SAK
DRAWN	SAK
CHECKED	AATR
ISSUED FOR CONSTRUCTION	12-21-23
NO.	REVISION
DATE	

STRUCTURAL GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE "INTERNATIONAL BUILDING CODE, 2018 EDITION." REFER TO THE SPECIAL STRUCTURAL INSPECTION NOTES FOR ADDITIONAL REQUIREMENTS.
- DESIGN CRITERIA AND LOADS: ROOF LIVE LOAD = 20 PSF, WITH CODE PROVISIONS FOR SNOW DRIFTING (GROUND SNOW $P_g = 20$ PSF); SLAB ON GRADE LIVE LOAD = 150 PSF; BASIC ULTIMATE WIND SPEED 110 MPH (3 SECOND GUST), EXPOSURE C; SEISMIC DESIGN CATEGORY -B; SEISMIC SITE CLASS -D; SEISMIC/WIND RISK CATEGORY -II.
- THE NET ALLOWABLE TOTAL LOAD SOIL BEARING PRESSURE DOES NOT EXCEED 1500 PSF FOR ALL WALL AND COLUMN FOOTINGS BEARING INTO NATIVE UNDISTURBED, NON-ORGANIC SOILS. THE CONTRACTOR SHALL PROVIDE SOIL TESTING SERVICES TO CONFIRM SOIL CONDITIONS/BEARING VALUES AND PROVIDE WRITTEN VERIFICATIONS TO THE OWNER'S REPRESENTATIVE AND ENGINEER. ALL PERIMETER AND EXTERIOR FOOTINGS SHALL EXTEND AT LEAST 3'-0" BELOW FINAL ADJACENT GRADE. NATIVE SOILS MOISTURE EVALUATIONS SHALL BE PERFORMED SHORTLY BEFORE THE START OF EARTHWORK. IF ACTUAL SITE CONDITIONS DO NOT SATISFY THESE REQUIREMENTS COORDINATE ADJUSTMENTS WITH THE ARCHITECT/ENGINEER/SOILS ENGINEER/ OWNERS REPRESENTATIVE.
- FOOTINGS MAY BE POURED TO NEAT LINES OF EXCAVATIONS PROVIDING VERTICAL LINES OF EXCAVATIONS CAN BE MAINTAINED DURING CONCRETE PLACEMENT.
- BEAMS, COLUMNS, WALLS AND FOOTINGS CENTER SHALL BE CENTERED UNDER SUPPORTING MEMBERS (TYPICAL UNLESS NOTED).
- CHAMFER ALL EXPOSED CONCRETE EDGES 3/4" (VERIFY WITH ARCHITECT).
- NO ALUMINUM SHALL BE EMBEDDED IN ANY CONCRETE.
- ALL STRUCTURAL REGULAR WEIGHT CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS (TYPICAL UNLESS NOTED); SLABS ON GRADE SHALL BE 4000 PSI AT 28 DAYS. ALL CONCRETE SHALL BE IN CONFORMANCE WITH THE LATEST A.C.I. 301 STANDARDS PUBLICATION.
- GROUT WHERE INDICATED ON PLANS AT BASE PLATES SHALL BE NON-METALLIC NON-SHRINK WITH MINIMUM COMPRESSIVE STRENGTH OF 6000 PSI AT 28 DAYS CONFORMING TO ASTM C1107.
- ALL REINFORCING BARS SHALL MEET ASTM A615 GRADE 60.
- REINFORCING BARS QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY.
- PROVIDE 150 LBS. OF EXTRA BARS OF VARIOUS SIZES USED ON THIS PROJECT TO BE USED AS DIRECTED: INCLUDE LABOR FOR PLACEMENT.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE 3/4" CLEAR FOR SLABS, 2" CLEAR FOR FORMED SURFACES AND 3" CLEAR FOR FOOTINGS (TYPICAL UNLESS NOTED).
- REINFORCEMENT SHALL BE CONTINUOUS AND LAPPED 40 BAR DIAMETERS (2'-6" MIN.) EXCEPT AS NOTED AND PROVIDE CORNER BARS OF SAME SIZE AND SPACING.
- REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST A.C.I. DETAILING MANUAL BY A QUALIFIED AND EXPERIENCED PERSON AND FIRM. PLACE AND SUPPORT REINFORCING WITH ACCESSORIES: MAXIMUM SPACING = 48" CENTERS. USE 3" SBP, SLAB BOLSTER WITH PLATE, SUPPORTS AT ALL FOOTINGS.
- CONTRACTOR SHALL VERIFY THAT ALL REINFORCEMENTS, INSERTS, SLEEVES AND EMBEDDED ITEMS ARE PROPERLY LOCATED AND RIGIDLY SECURED PRIOR TO CONCRETE PLACEMENT.
- ALL MESH SHALL MEET ASTM A-185: LAP A MINIMUM OF 8" OR ONE FULL MESH, WHICHEVER IS GREATER.
- SLAB ON GRADE SHALL BE 4" MINIMUM THICK WITH 6X6-W1.4XW1.4 W.W.F. AT CENTER OF SLAB THICKNESS.
- ALL PRECAST/PRESTRESSED CONCRETE MEMBERS AND CONNECTIONS SHALL CONFORM TO THE LATEST P.C.I. SPECIFICATIONS AND INDICATED DESIGN CRITERIA. CONCRETE FOR PANELS/MEMBERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
- THE PRECAST/PRESTRESSED CONCRETE MANUFACTURER/SUPPLIER SHALL BE P.C.I. PLANT CERTIFIED FOR THE CATEGORIES OF WORK IN THIS PROJECT OR PROVIDE A QUALITY ASSURANCE PLAN AND SPECIAL INSPECTIONS BY A KANSAS LICENSED ENGINEER FOR REVIEW AND APPROVAL AS DEFINED IN THE CODE AND SPECIFICATIONS.
- PRECAST/PRESTRESSED CONCRETE MEMBERS AND THEIR CONNECTIONS SHALL BE DESIGNED AND FURNISHED BY THE MANUFACTURER INCLUDING ANCHOR BOLTS/EMBED PLATES AND ANCHOR BOLT/EMBED PLATE LAYOUTS.
- THE PRESTRESS/PRECAST MANUFACTURER SHALL FURNISH SHOP DRAWINGS ALONG WITH SUPPORTING CALCULATIONS SEALED BY A LICENSED STRUCTURAL ENGINEER OF THE PROJECT STATE FOR REVIEW BY THE OWNER'S REPRESENTATIVE AND ENGINEER BEFORE PREFABRICATION.
- HOLES 4" DIAMETER AND LESS MAY BE FIELD DRILLED IN THE PRESTRESS CONCRETE MEMBERS BY THE TRADES REQUIRING THEM. LOCATIONS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR, INDICATED IN THE SHOP DRAWINGS AND REVIEWED BY THE OWNERS REPRESENTATIVE AND ENGINEER. FIELD CUTTING OF STRANDS WILL NOT BE PERMITTED.
- HOLES, PIPES, SLEEVES, ETC. NOT SHOWN ON THE DRAWINGS MUST BE REVIEWED BY THE OWNER'S REPRESENTATIVE BEFORE PLACEMENT THROUGH STRUCTURAL MEMBERS.
- IF MECHANICAL AND ELECTRICAL EQUIPMENT SIZES, WEIGHTS, OR LOCATIONS DO NOT COINCIDE WITH EQUIPMENT SHOWN ON THE PLANS, COORDINATE ADJUSTMENTS WITH THE OWNER'S REPRESENTATIVE.
- NO AREA OF THE STRUCTURE SHALL BE LOADED WITH CONSTRUCTION MATERIALS OR EQUIPMENT THAT EXCEEDS FINAL DESIGN CRITERIA.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE AND DETERMINE FINAL ERECTION PROCEDURES, SEQUENCING AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYING OR TIE DOWNS WHICH MIGHT BE NECESSARY.
- FABRICATORS AND SUPPLIERS SHALL CLEARLY NOTE AND HIGHLIGHT CHANGES MADE IN SHOP DRAWINGS WHICH DO NOT COMPLY WITH THE CONTRACT DOCUMENTS.
- SURFACE WATER SHALL NOT BE ALLOWED TO STAND ADJACENT TO OR DRAIN TOWARDS THE FOUNDATION UNDER ANY CIRCUMSTANCES. PAVEMENTS OR GRADED SOIL AT THE PERIMETER OF THE BUILDING, EXCEPT AS REQUIRED AT EXISTS OR AS NOTED, SHALL BE SLOPED AWAY AT 1/2 INCHES/FT. MINIMUM FOR THE FIRST 10 FEET.
- IF DISCREPANCIES EXIST BETWEEN STRUCTURAL PLANS, OTHER PLANS, OR SPECIFICATIONS, THE CONTRACTOR OR SUB-CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR CLARIFICATION FROM THE OWNER'S REPRESENTATIVE AND/OR ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE STRUCTURES ARE NOT DESIGNED FOR FUTURE EXPANSION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

SPECIAL STRUCTURAL INSPECTION NOTES:

- SPECIAL STRUCTURAL INSPECTIONS SHALL BE PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE MEETING THE REQUIREMENTS OF CHAPTER 17 OF THE CODE.
- THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO APPROVED DESIGN DRAWINGS, SPECIFICATIONS AND CODE PROVISIONS.
- THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE OWNER, BUILDING OFFICIAL, ARCHITECT AND LICENSED DESIGN ENGINEER AND FURNISH THE CODE REQUIRED REPORTS IN A TIMELY MANNER TO THE BUILDING OFFICIAL AND ENGINEER.
- SPECIAL INSPECTIONS AS REQUIRED BY CODE:
 - CONCRETE: SECTION 1705.3 AND TABLE 1705.3 (PERIODIC)
 - SOILS: SECTION 1705.6 AND TABLE 1705.6



1 FOOTING & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

- REF. CIVIL FOR LOCATION & ORIENTATION OF BUILDING RELATIVE TO SITE.
- REF. CIVIL FOR TOP OF SLAB ELEVATION RELATIVE TO SITE.

DEMO & BUILDING PAD NOTES:
THE EXISTING BUILDING LOCATED ON THIS SITE SHALL BE REMOVED PRIOR TO NEW CONSTRUCTION. ANY FOOTINGS, UTILITY LINES, ETC. LOCATED WITHIN THE NEW BUILDING FOOTPRINT SHALL BE REMOVED DOWN TO SUITABLE BEARING SOILS AND SHALL BE BACKFILLED AS REQUIRED TO SATISFY THE SOIL BEARING CAPACITIES OUTLINED IN THE STRUCTURAL GENERAL NOTES.

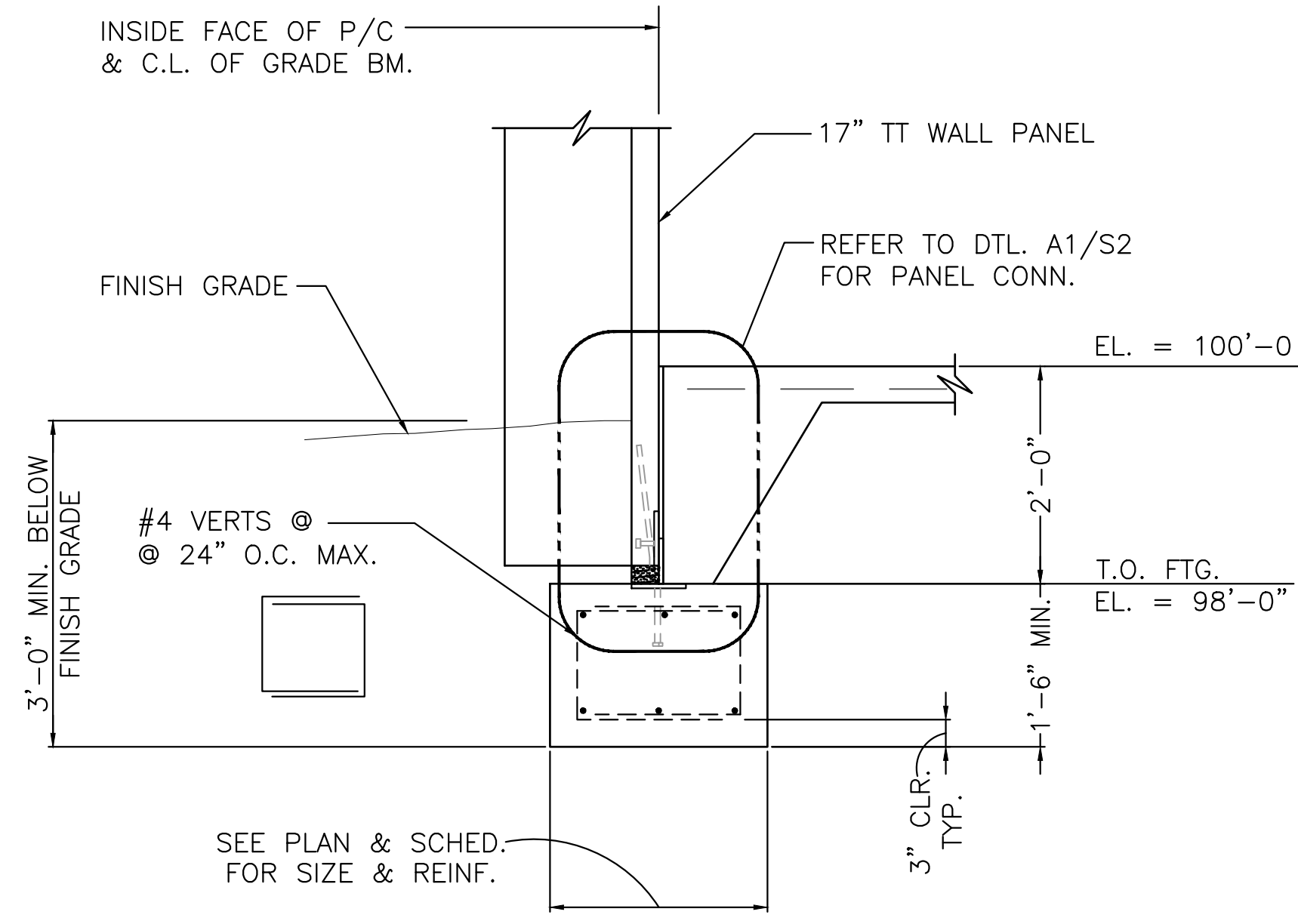
SLAB NOTE:
SAW CUT JOINTS OR KEYED CONSTRUCTION JOINTS IN SLABS ON GRADE SHALL BE SPACED TO DIVIDE THE SLAB INTO PANELS NOT TO EXCEED 225 SQUARE FEET. THE LONGER DIMENSION OF EACH PANEL SHALL NOT EXCEED THE SHORTER DIMENSIONS BY MORE THAN 20%. CONTRACTOR SHALL SUBMIT JOINT LAYOUT TO ARCHITECT FOR APPROVAL. REFER TO DETAILS 1/S2 & 2/S2.

CONT. FOOTING SCHEDULE

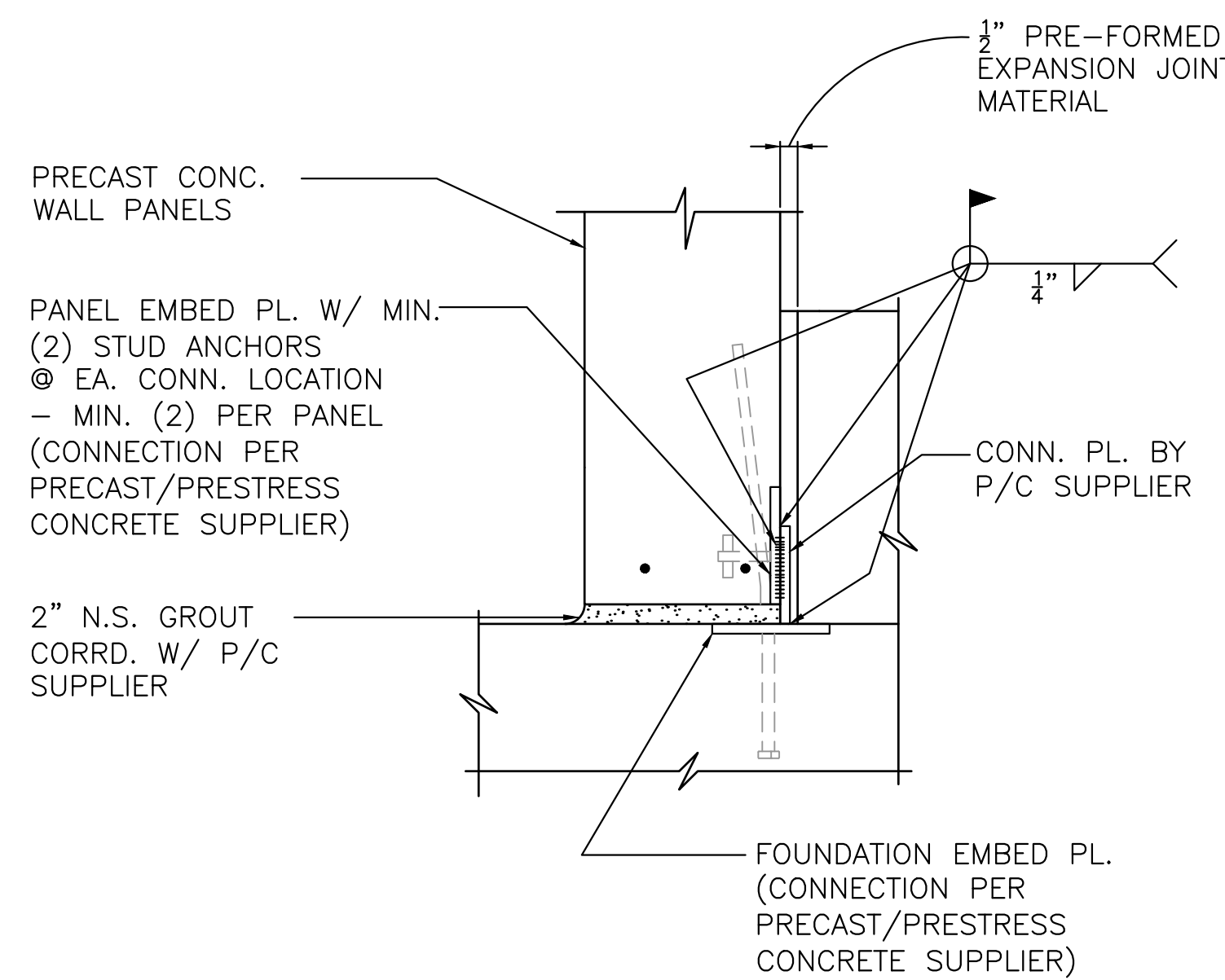
MARK	SIZE	REINF.
CF1	2'-0" WIDE X 1'-6" DP. MIN.	(3) #5 CONT. TOP & BOTT.



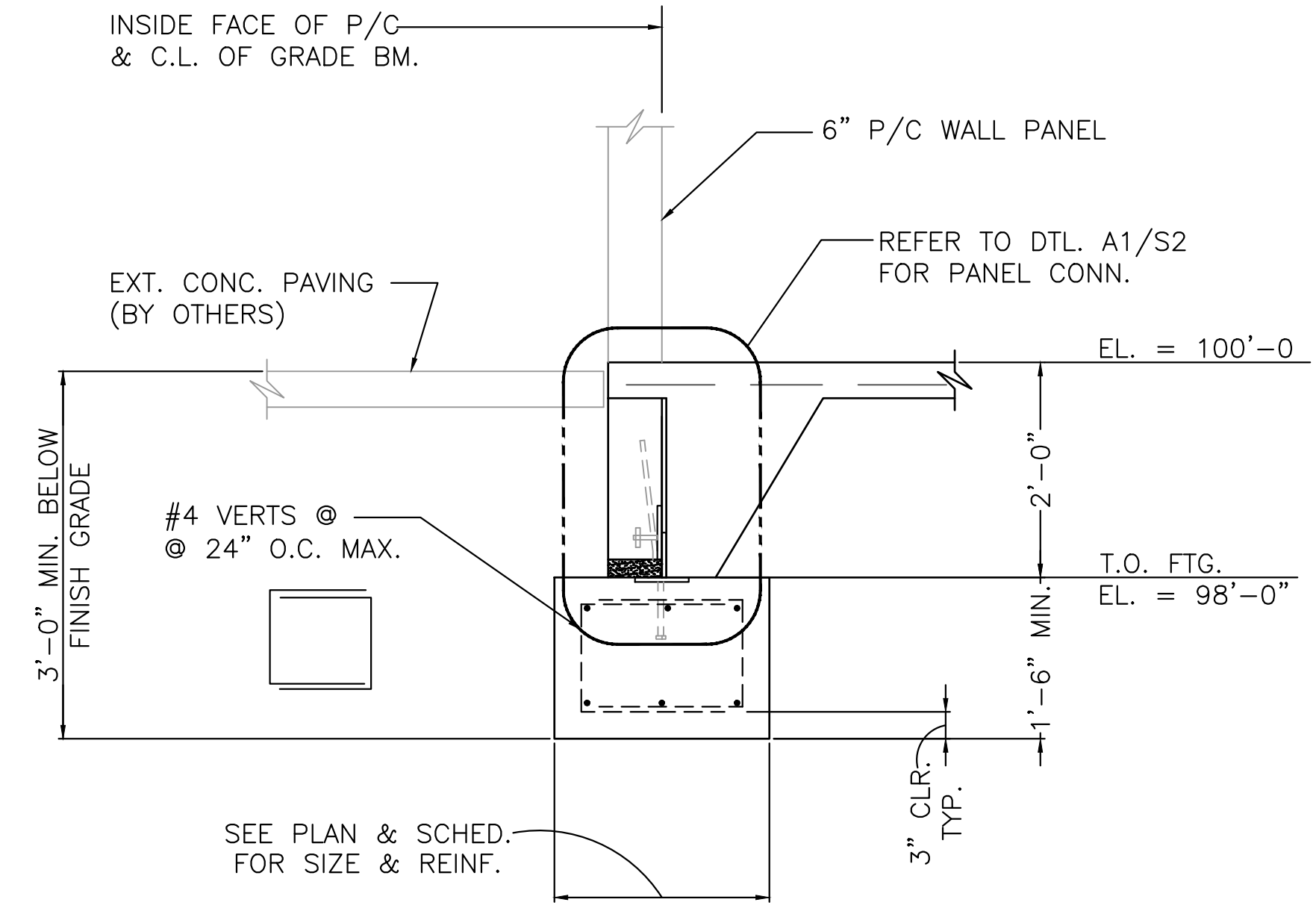
PLOTTED: Thursday, December 21, 2023 @ 03:58PM



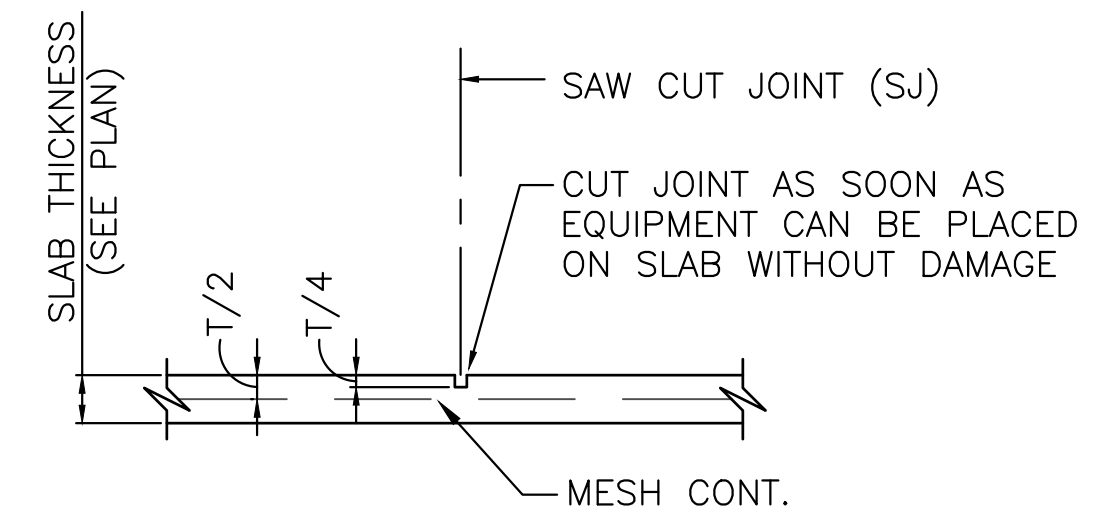
A1/S2 FOUNDATION SECTION
SCALE: 3/4" = 1'-0"



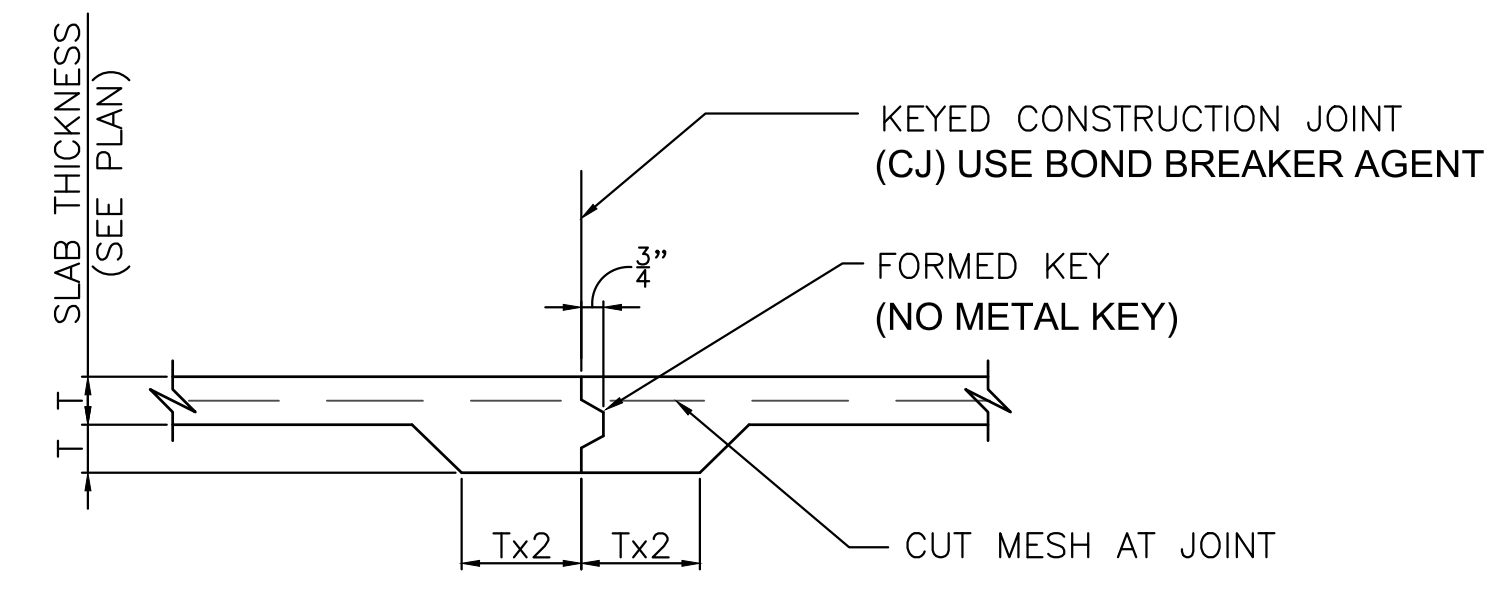
A1/S2 DETAIL @ CONNECTION
SCALE: N.T.S.



A/S2 FOUNDATION SECTION
SCALE: 3/4" = 1'-0"



1/S2 TYP. SAWCUT JOINT
SCALE: 3/4" = 1'-0"



2/S2 TYP. KEYED CONST. JOINT
SCALE: 3/4" = 1'-0"
(MAY BE USED IN LIEU OF SAW CUT JOINT)

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NEW CONSTRUCTION
WEST PARK BATHHOUSE
HARVEY COUNTY, KANSAS

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FOUNDATION SECTIONS

PROJECT NO.	2301010514
DATE	DEC 2023
SCALE	AS NOTED
DESIGNED	SAK
DRAWN	SAK
CHECKED	AATR



NO.	ISSUED FOR CONSTRUCTION	12-21-23
	REVISION	DATE

SHEET NO.
S2