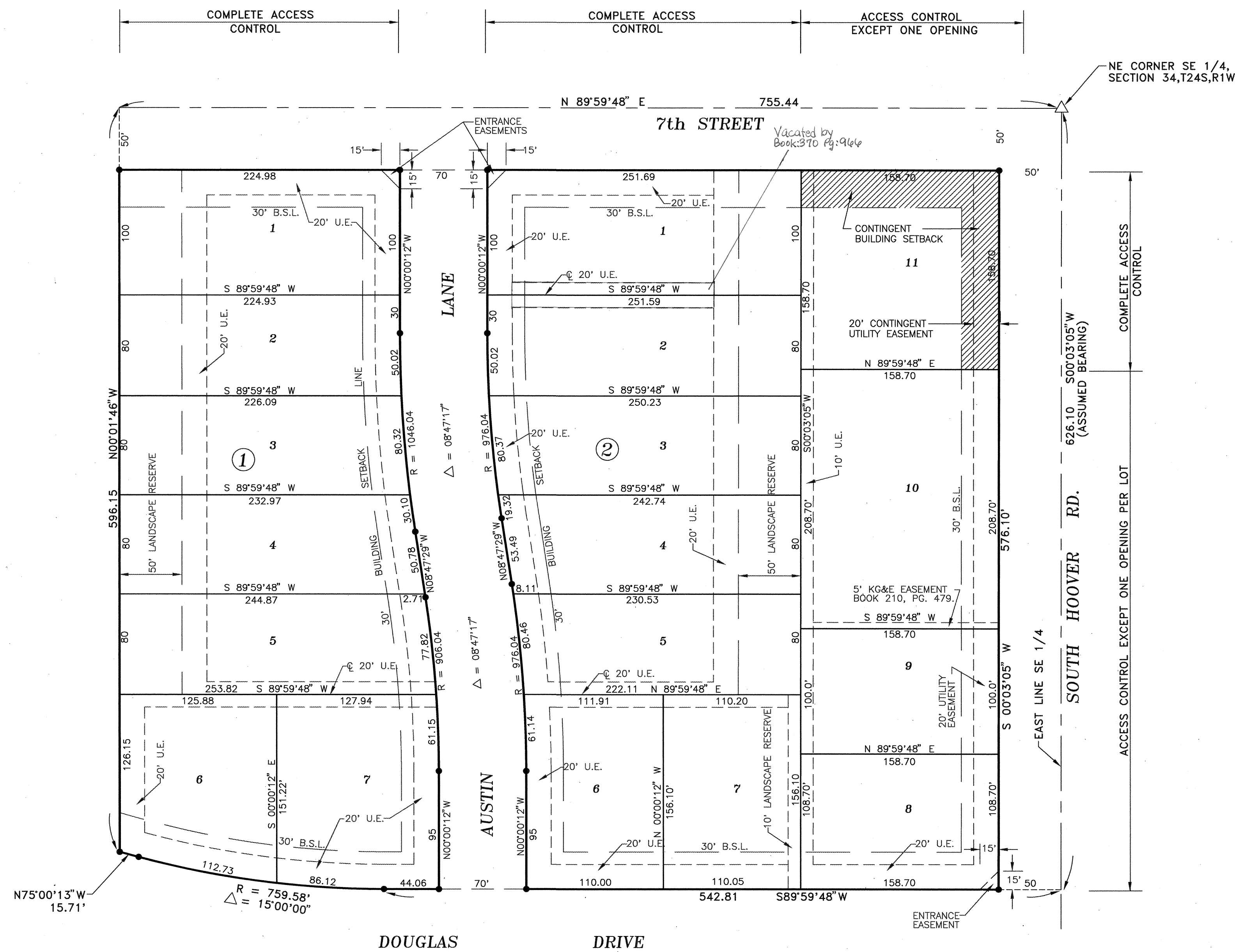


Book 2
Pg: 346



FINAL PLAT
THE HILANDS SECOND ADDITION
SEDGWICK, HARVEY COUNTY, KANSAS
1998

PREPARED BY:
REISS AND GOODNESS ENGINEERS
2160 W. 21st ST.
WICHITA, KS 67203
(316) 832-0213

LEGEND
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
• = MONUMENT SET

LEGAL DESCRIPTION

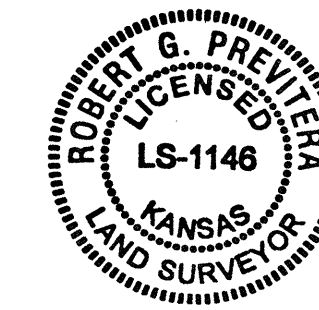
A replat of Lots 6 through 11, inclusive, Block 3, Lots 1 through 7, inclusive, Block 4 and Austin Lane as platted in The Hilands, Sedgwick, Harvey County, Kansas;

AND

Beginning at the northeast corner of the southeast quarter of Section 34, Township 24 South, Range 1 West of the 6th P.M., Harvey County, Kansas; thence west 208.7 feet; thence south 626.1 feet; thence east 208.7 feet; thence north 626.1 feet to the point of beginning; except the north 208.7 feet.

STATE OF KANSAS }
COUNTY OF HARVEY } SS

I, Robert G. Previtera, being a registered land surveyor in said County and State, do hereby certify that I have caused the tract of land as set forth in the Legal Description to be surveyed and platted and that said survey and the accompanying exhibit are true and correct to the best of my knowledge and information available.



Robert G. Previtera
ROBERT G. PREVITERA LS#1146

April 6, 1998
DATE

Know all men by these presents that we the undersigned property owners have caused the tract of land as set forth in the Legal Description to be surveyed and platted into lots, blocks and streets to be known as The Hilands Second Addition, Sedgwick, Harvey County, Kansas. Easements are hereby granted as indicated for utility construction and maintenance. Streets are hereby dedicated to and for the use of the public. Access control as indicated on the face of the plat is hereby granted to the City of Sedgwick. The Landscape Reserves are for landscaping, public utilities, and are further restricted as addressed in the restrictive covenants. The entrance easements are hereby granted for landscaping and entrance features as addressed within the restrictive covenants. Existing easements and setback lines which lie within the boundary of this plat are hereby vacated by virtue of KSA 12-512(b) amended. The contingent building setback line and contingent utility easement located in Lot 11, Block 2, are hereby granted subject to the removal of existing structures.

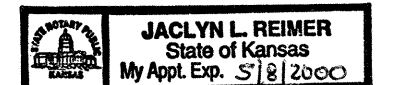
William S. Armfield Delbert J. Owens
WILLIAM S. ARMFIELD DELBERT J. OWENS

Edith M. Armfield Gloria M. Owens
EDITH M. ARMFIELD GLORIA M. OWENS

STATE OF KANSAS }
COUNTY OF HARVEY } SS

The foregoing instrument was acknowledged before me this 7th day of April, 1998, by William S. Armfield and Edith M. Armfield, husband and wife, and Delbert J. Owens and Gloria M. Owens, husband and wife.

Jaclyn L. Reimer, Notary Public
My Appointment Expires: MAY 8, 2000



This plat of The Hilands Second Addition, Sedgwick, Harvey County, Kansas has been submitted to and approved by the Planning Commission this 9th day of MARCH, 1998.

SEDGWICK PLANNING COMMISSION

John Clark, Chairperson
JOHN CLARK
Kay Berger, Secretary
KAY BERGER

The dedications shown on this plat accepted by the City of Sedgwick, Kansas, this 16th day of MARCH, 1998.

Donald K. DeHaven, Mayor
DONALD K. DeHAVEN
Jaclyn L. Reimer, City Clerk
JACLYN L. REIMER

Entered on transfer record this 20 day of May, 1998.
Margaret Wright, (Harvey) County Clerk
MARGARET WRIGHT

STATE OF KANSAS }
COUNTY OF HARVEY } SS 091181

This is to certify that this instrument was filed for record 9:15 A.M. in the Register of Deeds Office on the 29th day of May, 1998, in Book 357-misc Page 690

Dani Porter, Register of Deeds
DANI PORTER
Margaret A. Hermstein, Deputy
MARGARET A. HERMSTEIN

Book 2 Pg 346

Book 2
Pg: 346